

# Your Inspection Report

123 Main Street  
Anytown, IL 60100

**PREPARED FOR:**  
SAMPLE REPORT

**INSPECTION DATE:**  
Wednesday, August 12, 2015

**PREPARED BY:**  
Sean Bacon 450.0001531



**Xcellence**  
Inspection Services  
"Expect the Best...Expect Xcellence"

Xcellence Inspection Services  
3011 W. 183rd Street, Suite #104  
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[www.xcellenceinspectionsservices.com](http://www.xcellenceinspectionsservices.com)  
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"EXPECT THE BEST...EXPECT XCELLENCE"



September 30, 2015

Dear Sample Report,

RE: Report No. 6165, v.2  
123 Main Street  
Anytown, IL  
60100

Thank you for choosing Xcellence Inspection Services to perform your Home Inspection. We trust the experience was both useful and enjoyable.

Please feel free to contact us with questions about the report or the home itself any time for as long as you own the home. Our consulting service via telephone is available at no cost to you for as long as you own the home.

Your report includes:

- Tabs to move quickly to any section
- Links to helpful articles and more detail
- Illustrations for added clarity
- Links to a Home Maintenance Guide

Your report is a secure Adobe .PDF file. Download a copy to your computer to print and future reference.

Please contact us should you have any questions about your home.

Sincerely,

Sean Bacon 450.0001531  
on behalf of  
Xcellence Inspection Services

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

## Exterior

### PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Joists

**Condition:** • [Ledgerboard problems](#)

The ledgerboard should be lagbolted to the house for structural integrity. For further info, please view:

<http://www.safestronghome.com/deck/02.asp>

**Implication(s):** Weakened structure | Chance of movement

**Location:** Balcony, Deck, Front Porch

**Task:** Further evaluation by a deck contractor

**Time:** Immediate

**Condition:** • [Fastener problems](#)

The joists are pulling away from the deck header board. Joist hangers are needed for a secure connection.

**Implication(s):** Weakened structure | Chance of movement

**Location:** Deck

**Task:** Repair by a deck contractor

**Time:** Immediate

### PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

**Condition:** • [Steps springy, loose or sagging](#)

The concrete pad under the front porch has settled which has undermined the support for the front porch steps.

**Implication(s):** Trip or fall hazard

**Location:** Front Porch

**Task:** Repair

**Time:** Immediate

### PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

**Condition:** • [Rot or insect damage](#)

The guardrail is rotted and extremely loose.

**Implication(s):** Fall hazard

**Location:** Deck

**Task:** Repair or replace

**Time:** Immediate

**Condition:** • [Loose](#)

The left handrail is loose.

**Implication(s):** Fall hazard

**Location:** Deck

**Task:** Repair

**Time:** Immediate

# SUMMARY REPORT

123 Main Street, Anytown, IL August 12, 2015

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## Electrical

### **General**

• The smoke and carbon monoxide detectors noted in the home appeared to be at or beyond the end of their service lives. It is recommended that the smoke detector and carbon monoxide detector systems be upgraded to reflect current life safety codes which include; smoke detectors on each level of living space and in each sleeping room, hard-wired 120 V smoke detectors that are interconnected in order to alarm simultaneously when any individual smoke detector responds, and carbon monoxide detectors and every level of living space and within 15 feet of a sleeping room. The installation of these critical life safety devices by a licensed and competent electrician is recommended.

**Location:** Throughout

**Task:** Upgrade

**Time:** Immediate

## Interior

### **STAIRS \ Handrails**

**Condition:** • [Loose](#)

**Implication(s):** Fall hazard

**Location:** Second Floor Staircase

**Task:** Repair

**Time:** Immediate

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

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## Description

**General:** • Any recommendations by the inspector to repair or replace roofing suggests a second opinion or further inspection by a qualified roofing contractor.

**Sloped roofing material:** • [Asphalt shingles](#)

## Inspection Methods & Limitations

**Roof inspection limited/prevented by:** • This inspection is based on what was visible and accessible at the time of the inspection and it is not a warranty of the roof system or how long it will be watertight in the future.

**Roof inspection limited/prevented by:** • The roof was viewed from the ground. One or more areas of the roof were not visible and no comments can be made regarding the condition of these areas. Recommend checking with the current owner as to the condition of the roof.

*Note:* The west portion of the roof was not visible as a result of tree coverage from the next door home.



**Roof inspection limited/prevented by:** • Many leaks occur only under conditions of prolonged rain, and these conditions may not be present at the time of the inspection. Clients are encouraged to ask the current owner about the presence of any roof leaks.

**Roof inspection limited/prevented by:** • Lack of access (too high/steep)

**Inspection performed:** • The roof could only be inspected with binoculars as it exceeds the accessible limits set out in our company safety policy. A complete assessment of the roofing system is recommended by a qualified roofing contractor prior to closing.

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## Observations and Recommendations

### SLOPED ROOFING \ Asphalt shingles

**1. Condition:** • [Vulnerable areas](#)

Moss growth noted on the shed roof.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Shed Roof

**Task:** Clean

**Time:** Regular maintenance



### SLOPED ROOF FLASHINGS \ Pipe/stack flashings

**2. Condition:** • [Exposed, missing fasteners](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East Roof

**Task:** Repair

**Time:** Immediate

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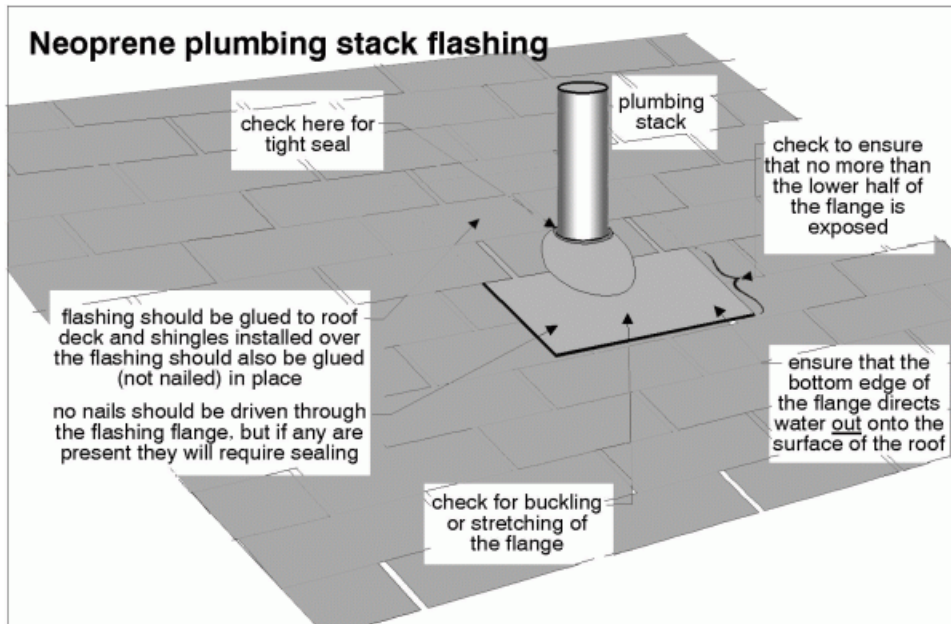
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## Description

**General:** • Any recommendations by the inspector to repair or replace exterior items suggests a second opinion or further inspection by a qualified general contractor which may include, but not limited to a gutter, masonry, siding, landscaping, fencing, window, concrete, or asphalt contractors.

**Gutter & downspout material:** • [Aluminum](#)

**Gutter & downspout type:** • [Eave mounted](#)

**Gutter & downspout discharge:** • [Above grade](#)

**Lot slope:** • [Away from building](#) • [Flat](#)

**Wall surfaces - wood:** • [Hardboard, plywood or OSB](#)

**Wall surfaces - masonry:** • [Brick](#)

**Soffit and fascia:** • [Aluminum](#)

**Driveway:** • Asphalt • Concrete

**Walkway:** • Concrete • Pavers

**Deck:** • Raised • Wood

**Porch:** • Wood

**Exterior steps:** • Wood

**Balcony:** • Wood • Wood railings

**Garage:** • General

## Inspection Methods & Limitations

**General:** • The property included one or more detached structure (structures not attached to the home) which were not included as part of a General Home Inspection and were not inspected.

The Inspector disclaims any responsibility for providing any information as to their condition. Consider having these structures inspected by a qualified inspector for safety reasons.





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**Inspection limited/prevented by:** • Defects may be hidden behind dense foliage, vines, snow, stored items, debris or finishes and cannot be included with this inspection. • Defects may be found when repairs are made to the items listed in this report or when remodeling is done on the exterior. We cannot be held responsible for any defects which were hidden at the time of the inspection.

**Inspection limited/prevented by:**

• Storage

Storage limited the visual access to the garage interior.



**Upper floors inspected from:** • Ground level

**Exterior inspected from:** • Ground level

## Observations and Recommendations

### ROOF DRAINAGE \ Gutters

**3. Condition:** • [Clogged](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East, West, Front Exterior Walls

**Task:** Clean

**Time:** Regular maintenance

**4. Condition:** • [Loose or damaged](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East Exterior Wall

**Task:** Repair

**Time:** Immediate

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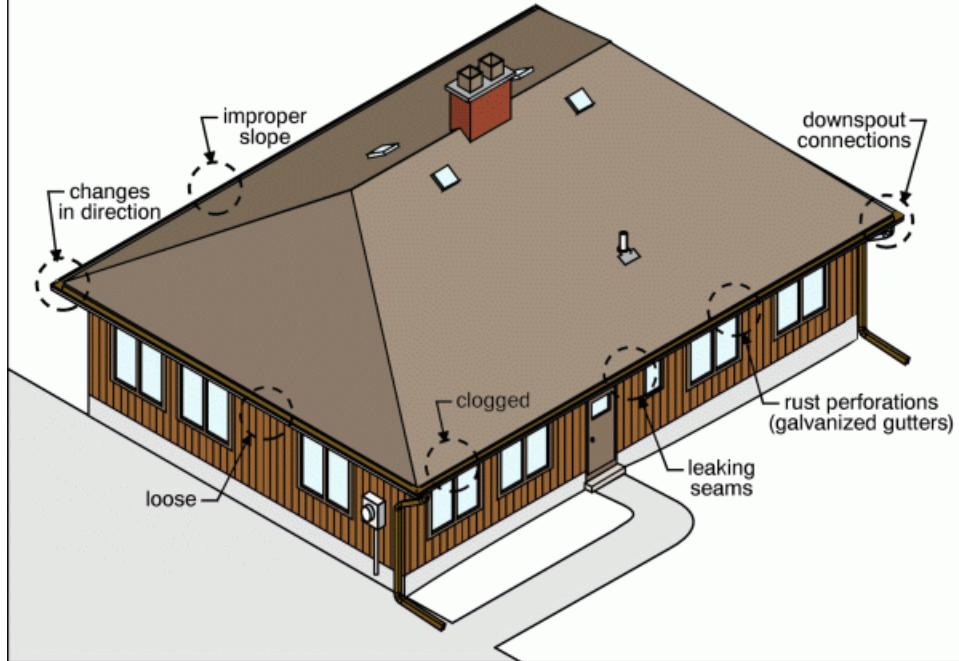
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## Gutters - common reasons for leakage



### **ROOF DRAINAGE \ Downspouts**

**5. Condition:** • [Downspouts end too close to building](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout Exterior

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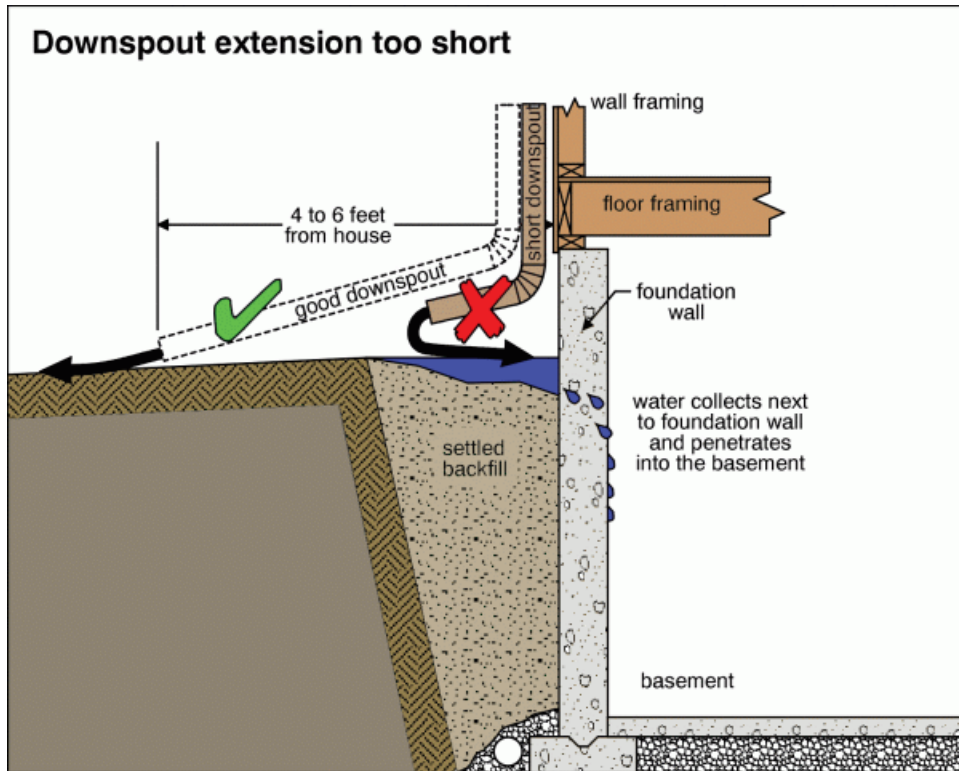
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**Task:** Improve

**Time:** Discretionary



## WALLS \ Soffits and fascia

**6. Condition:** • [Paint or stain needed](#)

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

**Location:** Exterior Wall Garage

**Task:** Improve

**Time:** Regular maintenance

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## WALLS \ Flashings and caulking

7. Condition: • [Caulking missing or ineffective](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Exterior Wall (Both lights)

Task: Improve

Time: Regular maintenance



## WALLS \ Plywood, hardboard, and OSB

8. Condition: • [Paint or stain - needed](#)

Implication(s): Shortened life expectancy of material

Location: Exterior Wall Shed

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**Task:** Improve

**Time:** Less than 1 year



**9. Condition:** • [Loose](#)

The east wall has more sun and weather exposure which has caused movement of the hardboard siding.

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** East Exterior Wall

**Task:** Repair

**Time:** Less than 1 year



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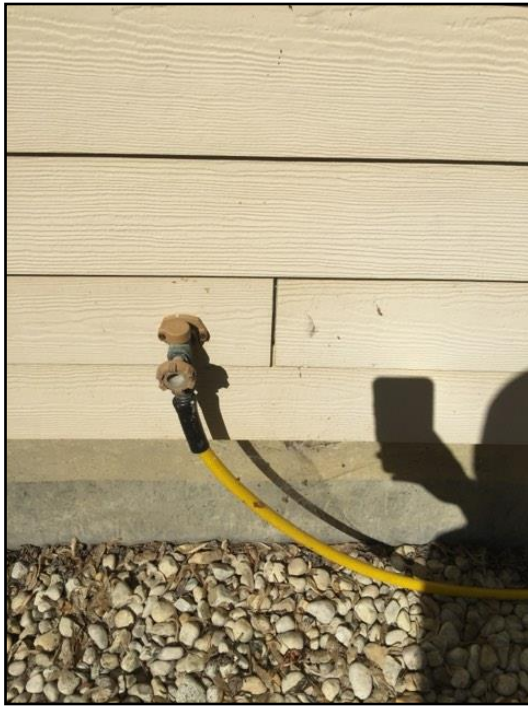
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## **WALLS \ Vinyl siding**

**10. Condition:** • [Mechanical damage](#)

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure

**Location:** Exterior Wall Garage

**Task:** Repair or replace

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**Time:** Less than 1 year



**11. Condition:** • [Loose or missing pieces](#)

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure

**Location:** West Exterior Wall

**Task:** Repair

**Time:** Less than 1 year



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**12. Condition:** • [Discolored](#)

**Implication(s):** Cosmetic defects

**Location:** Rear, West Exterior Wall

**Task:** Clean

**Time:** Regular maintenance



**13. Condition:** • [Too close to grade](#)

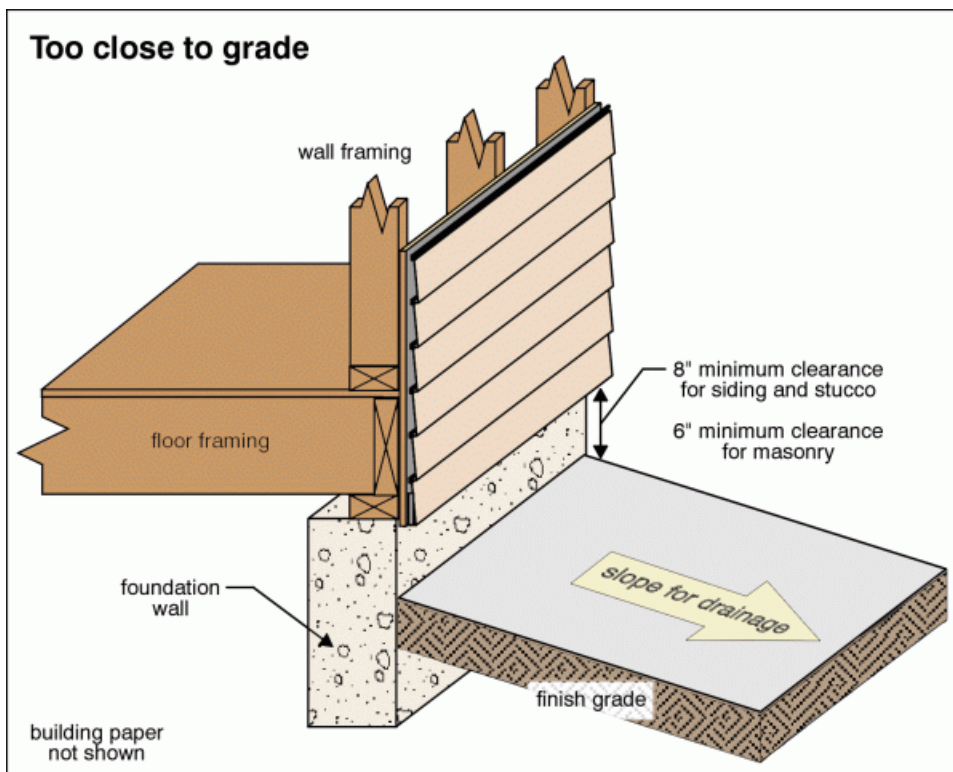
**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Rear Exterior Wall

**Task:** Improve

**Time:** Discretionary





## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Columns

### 14. Condition: • [Wood/soil contact](#)

The inspector could not determine if there are concrete footers under the deck posts.

**Implication(s):** Weakened structure | Chance of movement | Rot | Insect damage

**Location:** Deck

**Task:** Further evaluation

**Time:** Discretionary



**PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Joists**

**15. Condition:** • [Ledgerboard problems](#)

The ledgerboard should be lagbolted to the house for structural integrity. For further info, please view:

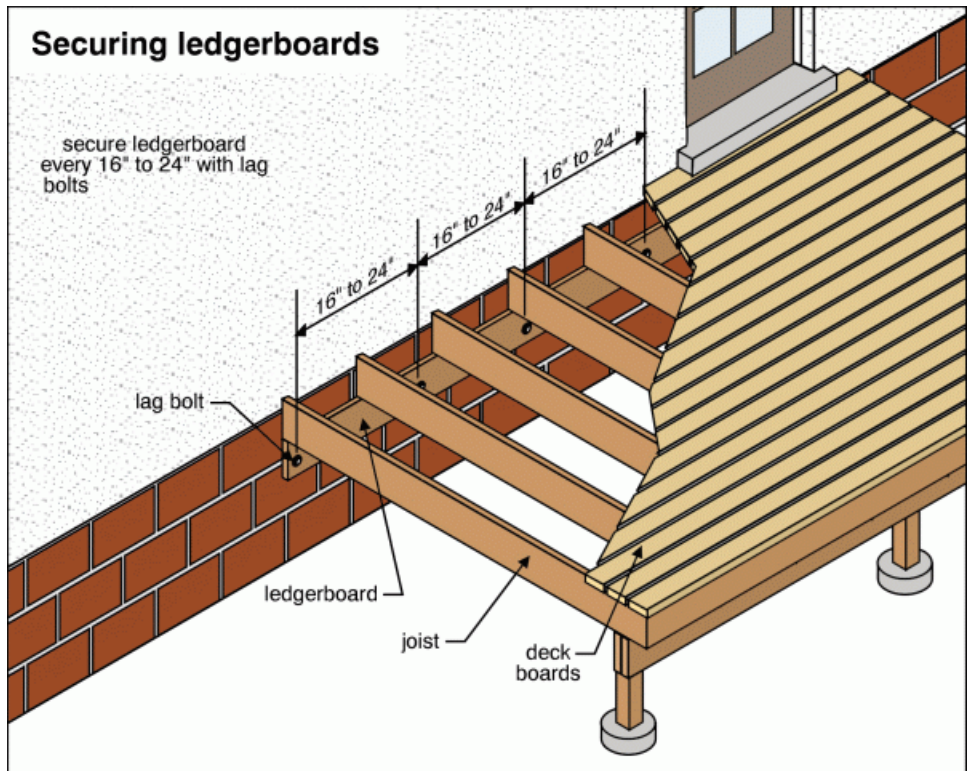
<http://www.safestronghome.com/deck/02.asp>

**Implication(s):** Weakened structure | Chance of movement

**Location:** Balcony, Deck, Front Porch

**Task:** Further evaluation by a deck contractor

**Time:** Immediate



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## 16. Condition: • [Fastener problems](#)

The joists are pulling away from the deck header board. Joist hangers are needed for a secure connection.

**Implication(s):** Weakened structure | Chance of movement

**Location:** Deck

**Task:** Repair by a deck contractor

**Time:** Immediate



## **PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Skirting**

### 17. Condition: • [Paint or stain needed](#)

**Implication(s):** Cosmetic defects | Shortened life expectancy of material

**Location:** Deck

**Task:** Improve

**Time:** Regular maintenance

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## **PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings**

**18. Condition:** • [Steps springy, loose or sagging](#)

The concrete pad under the front porch has settled which has undermined the support for the front porch steps.

**Implication(s):** Trip or fall hazard

**Location:** Front Porch

**Task:** Repair

**Time:** Immediate



## **PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards**

**19. Condition:** • The gate was not installed at the time of the inspection.

**Location:** Deck

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**Task:** Repair

**Time:** If necessary



**20. Condition:** • [Rot or insect damage](#)

**Implication(s):** Fall hazard

**Location:** Front Porch

**Task:** Repair or replace

**Time:** Less than 1 year



**21. Condition:** • [Rot or insect damage](#)

The guardrail is rotted and extremely loose.

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**Implication(s):** Fall hazard

**Location:** Deck

**Task:** Repair or replace

**Time:** Immediate



**22. Condition:** • [Loose](#)

The left handrail is loose.

**Implication(s):** Fall hazard

**Location:** Deck

**Task:** Repair

**Time:** Immediate

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## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ General

**23. Condition:** • All exterior wooden deck surfaces should be professionally cleaned and sealed against weather in order to extend the service life of the materials.

**Location:** Front Porch

**Task:** Improve

**Time:** Regular maintenance

## LANDSCAPING \ Driveway

**24. Condition:** • Seal or patch gaps and cracks to avoid damage from freezing moisture. Freezing moisture will enlarge cracks in concrete and asphalt.

**Location:** Front Exterior

**Task:** Improve

**Time:** Regular maintenance

**25. Condition:** • [Cracked or damaged surfaces](#)

**Implication(s):** Trip or fall hazard

**Location:** Front Exterior

**Task:** Repair

**Time:** Less than 1 year

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## LANDSCAPING \ Walkway

26. Condition: • [Uneven \(trip hazard\)](#)

Implication(s): Physical injury

Location: Front Exterior

Task: Repair or replace

Time: Less than 1 year



## LANDSCAPING \ General

27. Condition: • [Trees or shrubs too close to building](#)

Tree limbs overhanging the roof may cause abrasion damage to roofing materials if allowed to come into contact. Leaves will collect in and possibly clog the gutters and/or downspouts.



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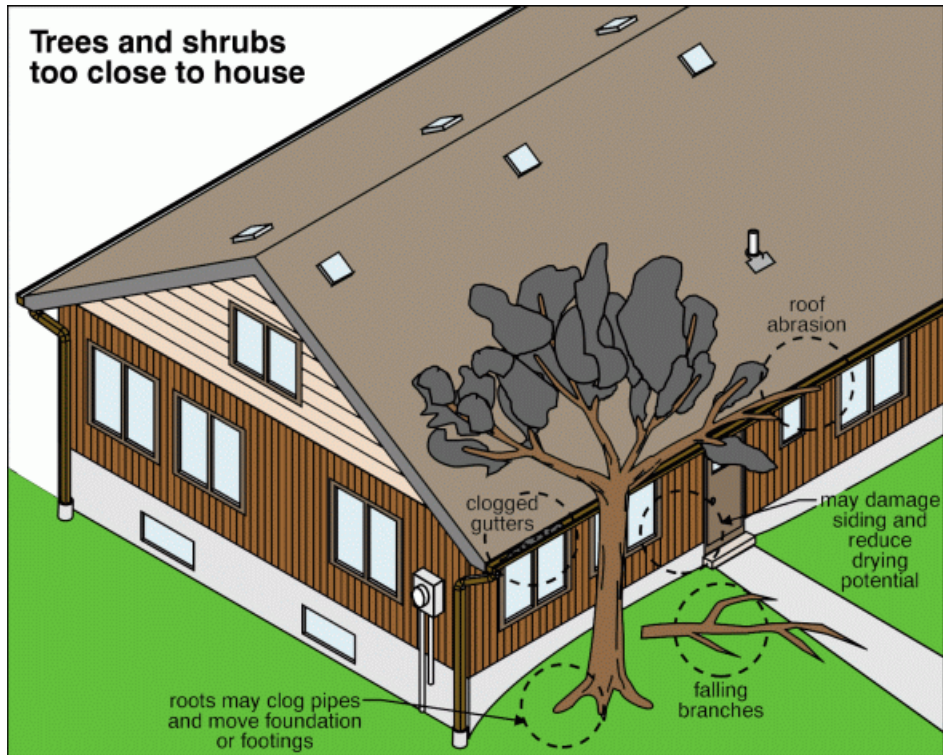
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**Implication(s):** Chance of water damage to contents, finishes and/or structure | Chance of pests entering building | Material deterioration

**Location:** Rear Yard, West Exterior

**Task:** Improve

**Time:** Regular maintenance



## Description

**General:** • Any recommendations by the inspector to repair or replace the foundation or framing suggests a second opinion or further inspection by a qualified general contractor, which may include, but not limited to a foundation and/or waterproofing contractor, framing contractor or structural engineer.

**Configuration:** • [Basement](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • [Engineered wood](#) • [Trusses](#) • Subfloor - plywood

**Exterior wall construction:** • [Wood frame, brick veneer](#)

**Roof and ceiling framing:** • [Rafters/roof joists](#)

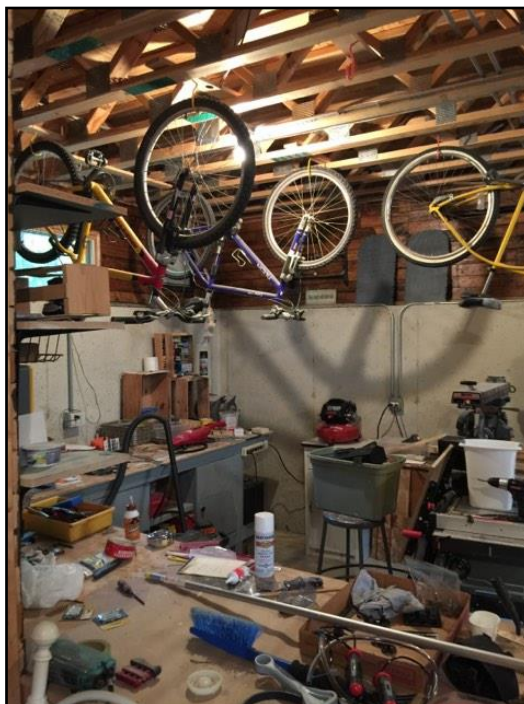
## Inspection Methods & Limitations

**Inspection limited/prevented by:** • Only the readily visible portions of the foundation and structure were observed. Foundation surfaces hidden behind finishes cannot be observed by the inspector. Defects may be present at hidden foundation areas that could allow water infiltration or may have been caused by structural movement. • Some foundation cracking is typical of settlement and/or shrinkage and does not usually indicate a structural deficiency.

**Inspection limited/prevented by:**

- Wall, floor and ceiling coverings
- Storage

Excessive basement storage significantly limited visual access to the basement walls and floors.



**Attic/roof space:** • Inspected from access hatch

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## Description

**General:** • Any recommendations by the inspector to repair or replace electrical items suggests a second opinion or further inspection by a qualified electrician.

**Service entrance cable and location:** • [Underground copper](#)

**Service size:** • [200 Amps \(240 Volts\)](#)

**Main disconnect/service box rating:** • [200 Amps](#)

**System grounding material and type:** • [Copper - water pipe](#) • [Copper - ground rods](#)

**Distribution panel type and location:** • [Breakers - basement](#)

**Distribution wire material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom](#) • [GFCI - outside](#) • [GFCI - whirlpool](#) • [GFCI - basement](#) • [GFCI - garage](#) • [GFCI - kitchen](#) • [AFCI - panel](#)

**Smoke detectors:** • [Present](#)

**Carbon monoxide (CO) detectors:** • Present

## Inspection Methods & Limitations

**General:** • Many of the components that make up an electrical system are concealed in wall cavities, conduits, chases, junction boxes etc. No commentary will be provided on concealed items.

**System ground:** • Continuity not verified • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

## Observations and Recommendations

### General

**28.** • The smoke and carbon monoxide detectors noted in the home appeared to be at or beyond the end of their service lives. It is recommended that the smoke detector and carbon monoxide detector systems be upgraded to reflect current life safety codes which include; smoke detectors on each level of living space and in each sleeping room, hard-wired 120 V smoke detectors that are interconnected in order to alarm simultaneously when any individual smoke detector responds, and carbon monoxide detectors and every level of living space and within 15 feet of a sleeping room. The installation of these critical life safety devices by a licensed and competent electrician is recommended.

**Location:** Throughout

**Task:** Upgrade

**Time:** Immediate

# HEATING

123 Main Street, Anytown, IL August 12, 2015

Report No. 6165, v.2

[www.xcellenceinspectionservices.com](http://www.xcellenceinspectionservices.com)

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## Description

**General:** • Any recommendations by the inspector to repair or replace heating items suggests a second opinion or further inspection by a qualified heating and air technician.

**Fuel/energy source:** • [Gas](#)

**System type:** • [Furnace](#)

**Furnace manufacturer:** • Tappan

**Heat distribution:** • [Ducts and registers](#)

**Approximate capacity:** • [80,000 BTU/hr](#)

**Efficiency:** • [High-efficiency](#)

**Exhaust venting method:** • [Direct vent - sealed combustion](#)

**Approximate age:** • [9 years](#)

**Typical life expectancy:** • Furnace (high efficiency) 15 to 20 years

**Main fuel shut off at:** • Meter • Exterior wall

**Exhaust pipe (vent connector):** • PVC plastic

**Chimney/vent:** • PVC plastic

**Combustion air source:** • Outside - sealed combustion

## Inspection Methods & Limitations

**General:** • Many of the components that make up a heating system are concealed in cabinet, floor, wall and ceiling chases. No commentary will be offered on concealed components.

**General:** • Proper operation of all heating units should be verified prior to closing.

**General:** • A conclusive evaluation of a furnace or boiler heat exchanger requires dismantling of the unit, including burner removal, and is beyond the scope of this inspection. WE DO NOT REPORT ON, AND ARE NOT RESPONSIBLE FOR HEAT EXCHANGERS.

**Inspection prevented/limited by:** • The heating system(s) was/were operated by using its/their normal operating control(s).

**Safety devices:** • Not tested as part of a building inspection

**Heat exchanger:** • Not accessible

## Observations and Recommendations

### General

**29.** • All heating equipment should be serviced every year by a qualified heating technician.

**Location:** Basement

**Task:** Service annually

**Time:** Regular maintenance

## GAS FURNACE \ Mid- and high-efficiency gas furnace

### 30. Condition: • [Condensate problems](#)

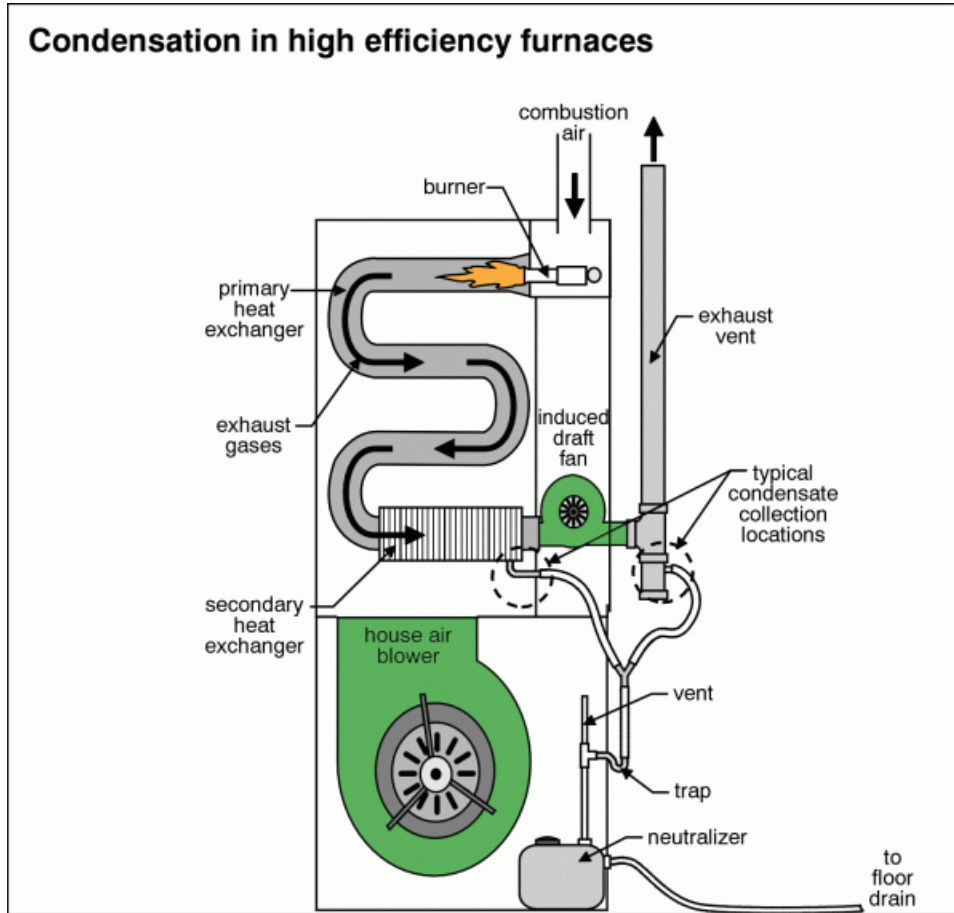
Signs of past condensate leakage noted inside the unit as evidenced by rust.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Reduced system life expectancy

**Location:** Basement

**Task:** Further evaluation

**Time:** Regular maintenance





## CHIMNEY AND VENT \ Metal chimney or vent

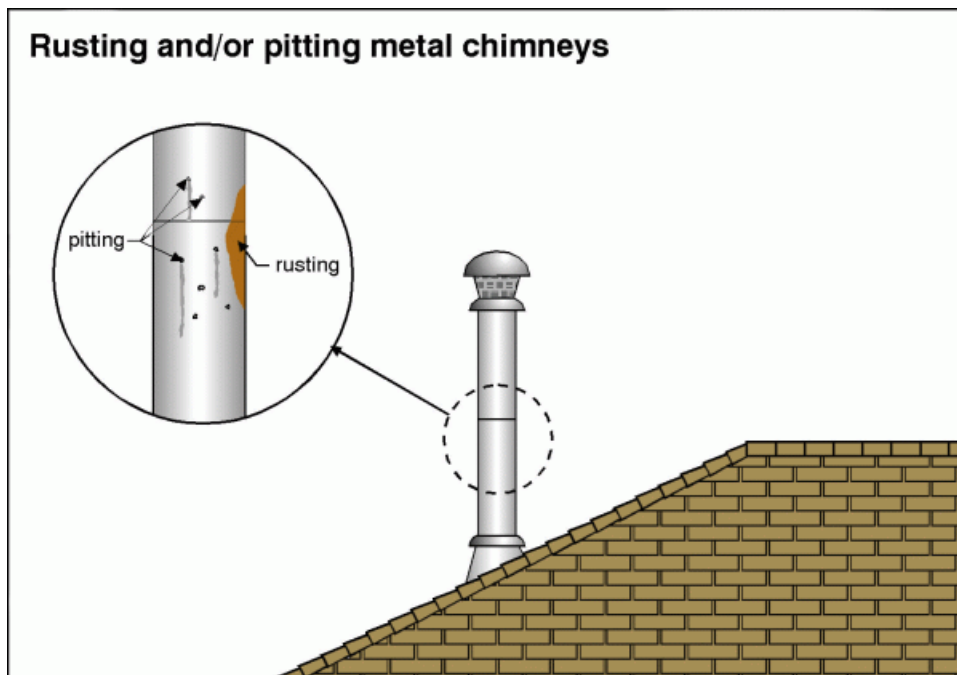
31. Condition: • [Chimney walls rusting or pitting](#)

Implication(s): Chance of movement | Hazardous combustion products entering home

Location: Garage

Task: Replace

Time: Less than 1 year



# HEATING

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# COOLING & HEAT PUMP

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## Description

**General:** • Any recommendations by the inspector to repair or replace cooling items suggests a second opinion or further inspection by a qualified heating and cooling technician.

**Air conditioning type:** • [Air cooled](#)

**Manufacturer:** • Tappan

**Cooling capacity:** • 42,000 BTU/hr • [3.5 Tons](#)

**Compressor type:** • Electric

**Compressor approximate age:** • 9 years

**Typical life expectancy:** • 12 to 15 years

## Inspection Methods & Limitations

**Inspection limited/prevented by:** • The Air Conditioner unit was operated using normal operating controls, which in this case is the thermostat.

**Heat gain/loss calculations:** • Not done as part of a building inspection

## Observations and Recommendations

### AIR CONDITIONING \ Condensate system

**32. Condition:** • [Pan leaking](#)

Signs of past leakage noted from the evaporator coil onto the furnace unit compartment.

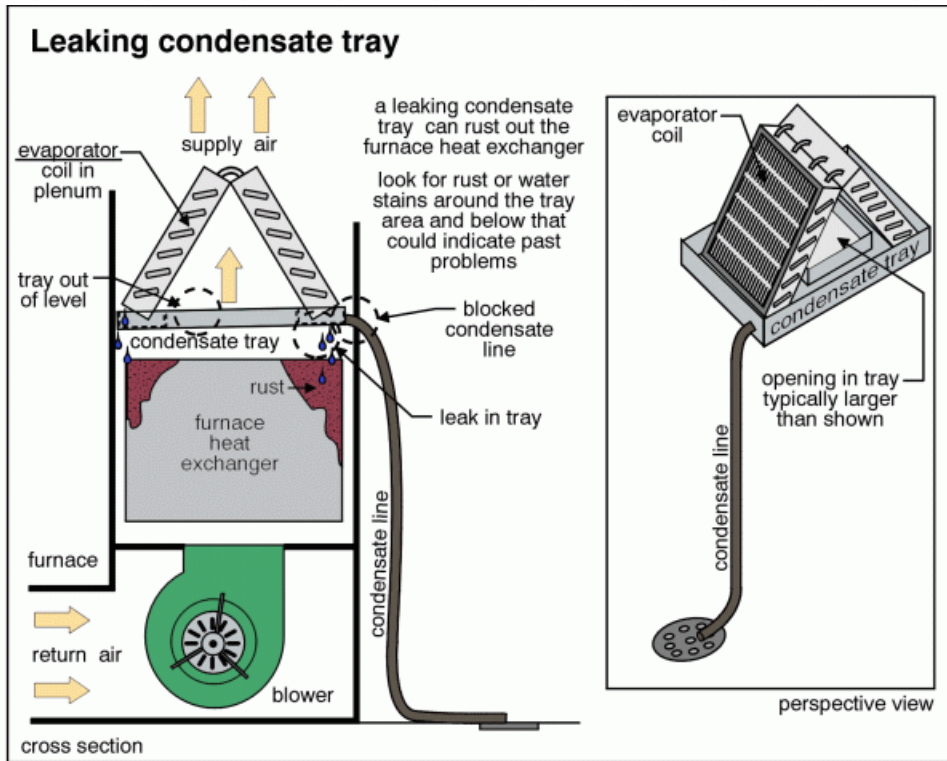
**Implication(s):** Chance of water damage to contents, finishes and/or structure | Damage to equipment

**Location:** Basement

**Task:** Further evaluation

**Time:** Regular maintenance





## AIR CONDITIONING \ General

**33. Condition:** • Service air conditioner

**Implication(s):** Reduced system life expectancy | Increased heating costs | Reduced comfort

**Location:** East Exterior

# COOLING & HEAT PUMP

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**Task:** Service annually

**Time:** Regular maintenance

## Description

**General:** • Any recommendations by the inspector to repair or replace insulation or ventilation items suggests a second opinion or further inspection by a qualified general contractor.

**Attic/roof insulation material:**

- [Cellulose](#)



**Attic/roof ventilation:** • [Soffit vent](#) • [Ridge vent](#)

## Inspection Methods & Limitations

**Attic inspection performed:** • From access hatch

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • Continuity not verified

**Mechanical ventilation effectiveness:** • Not verified

## Description

**General:** • Any recommendations by the inspector to repair or replace plumbing items suggests a second opinion or further inspection by a qualified plumber.

**Water supply source:** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Front of the basement

**Water flow and pressure:** • [Functional](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater type:** • Power Vent

**Water heater exhaust venting method:** • Direct vent - sealed combustion

**Water heater manufacturer:** • State

**Tank capacity:** • 50 gallons

**Water heater approximate age:** • 9 years

**Typical life expectancy:** • 8 to 12 years

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:** • [Plastic](#)

**Pumps:** • [Solid waste pump \(ejector pump\)](#) • [Sump pump](#)

**Floor drain location:** • Near heating system

**Gas piping:** • Steel

## Inspection Methods & Limitations

**General:** • Supply and drainage piping is observed in exposed areas only. The condition of hidden piping within walls or floors cannot be determined as part of this inspection.

**General:** • Plumbing leaks might not appear during the inspection if the home is vacant due to lack of normal, repeated usage, but may only appear after the home is occupied. We cannot be held responsible for these.

**General:** • The condition of underground waste piping and drainage cannot be determined by this inspection. We strongly recommend that THE CLIENT MAKE AN INQUIRY WITH THE CURRENT OWNER AS TO THE CONDITION OF UNDERGROUND DRAINAGE AND WASTE PIPING AND IF THERE IS ANY HISTORY OF SEWAGE BACK-UPS INTO THE HOUSE.

**General:** • The underground portions of the waste piping are not included with this inspection. Older sewers can be cracked, collapsed and/or clogged with tree roots, and these conditions may not be apparent during the home inspection. Televising of the sewer by a licensed plumber prior to closing is suggested.

**Inspection limited/prevented by:** • Determining the water tightness of the shower pan is outside the scope of the home inspection.

**Items excluded from a building inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed

plumbing • Tub/sink overflows • Water treatment equipment

## Observations and Recommendations

### WATER HEATER \ Life expectancy

**34. Condition:** • The estimated age of the water heater suggests that it is at or beyond it's expected life span. Budgeting for eventual replacement is recommended.

**Location:** Basement

**Task:** Upgrade

**Time:** Less than 2 years

### WASTE PLUMBING \ Sump pump

**35. Condition:** • [Discharge pipe problems](#)

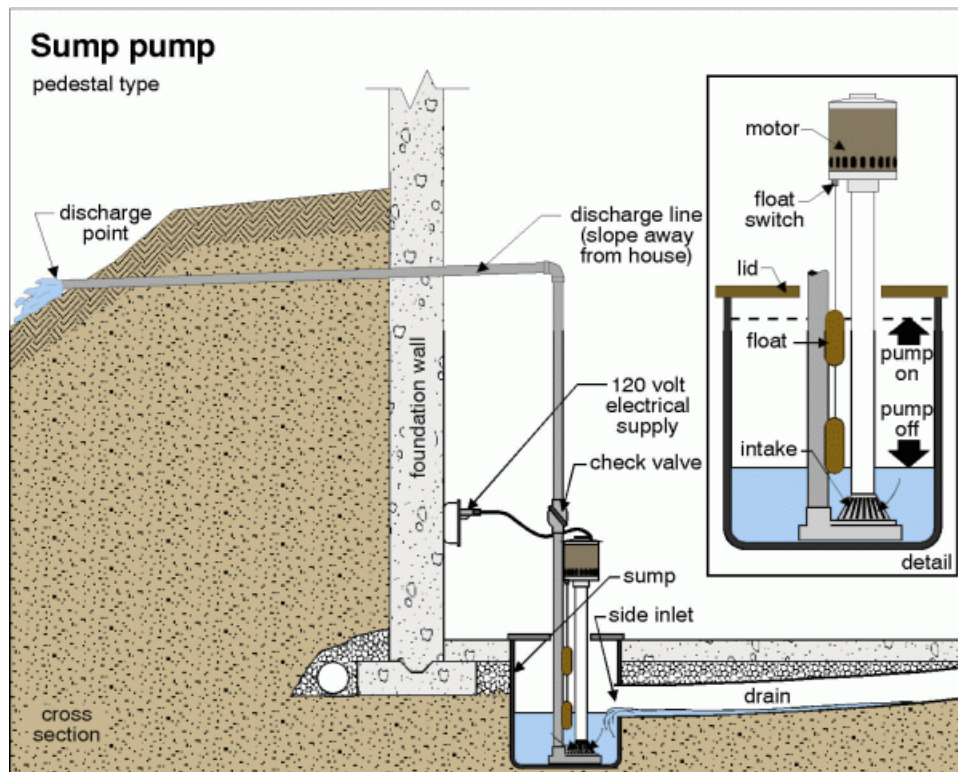
The discharge pipe should be extended at least 5 to 6 feet away from the house.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Front Porch (Under porch)

**Task:** Improve

**Time:** Discretionary



# PLUMBING

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## FIXTURES AND FAUCETS \ Toilet

**36. Condition:** • [Loose](#)

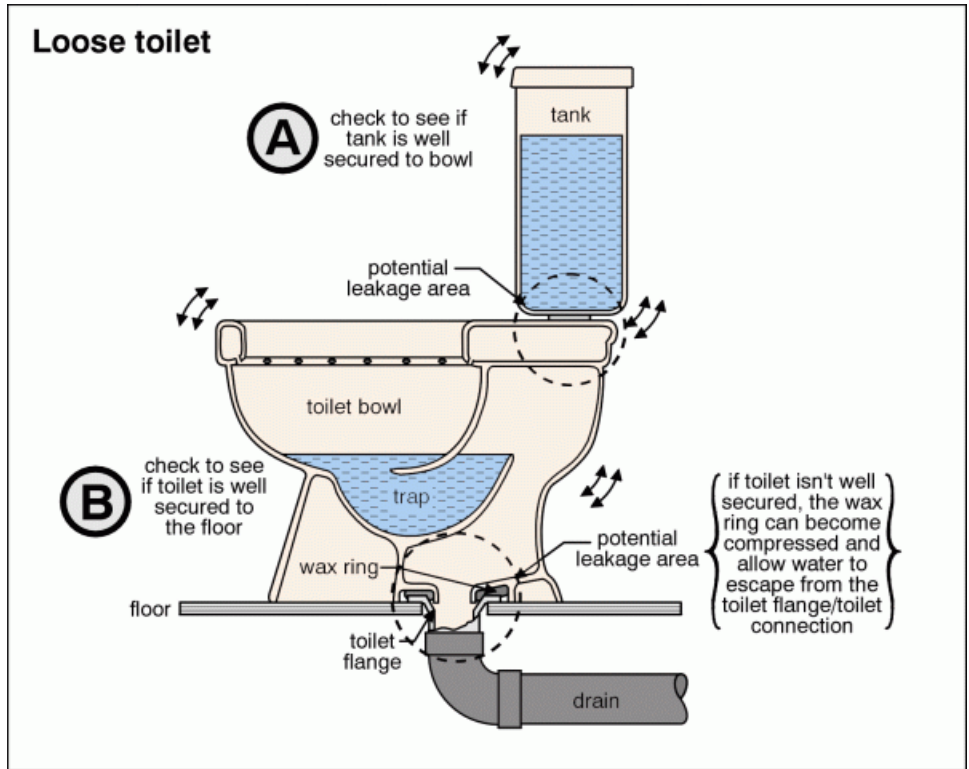
**Implication(s):** Chance of water damage to contents, finishes and/or structure | Sewage entering the building

**Location:** First Floor Bathroom

**Task:** Repair

**Time:** Regular maintenance

**Loose toilet**



## Description

**General:** • Any recommendations by the inspector to repair or replace interior items suggests a second opinion or further inspection by a qualified general contractor which may include, but not limited to a window, flooring, concrete, or appliance contractors.

**Major floor finishes:** • [Hardwood](#) • [Ceramic](#) • [Concrete](#)

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Single/double hung](#) • [Awning](#)

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • [Sliding glass](#) • [Metal](#)

**Doors:** • Inspected

**Oven type:** • Conventional

**Oven fuel:** • Gas

**Range fuel:** • Gas

**Appliances:** • Refrigerator • Range hood • Dishwasher • Microwave oven • Door bell

**Laundry facilities:** • Washer • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • Waste standpipe • Gas piping

## Inspection Methods & Limitations

**General:** • Almost every basement leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or how badly this basement may leak. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house, often cause basement leakage problems.

**General:** • All Appliances are operated AT THE TIME OF THE INSPECTION for basic operation only and in some cases, actual use cannot be duplicated during the home inspection (i.e., dishes in a dishwasher, clothes in a washing machine or dryer). The inspector does not guarantee future operation of any appliance and recommends operation of all appliances by the buyer prior to closing.

**Inspection limited/prevented by:** • The residence was furnished at the time of the inspection and portions of the interior were hidden by the occupants belongings. In accordance with industry standards, the inspection is limited to only those surfaces that are exposed and readily accessible. The Inspector does not move furniture, lift floor-covering materials, or remove or rearrange items within closets or on shelving. On your final walk through, or at some point after furniture and personal belongings have been removed, it is important that you inspect the interior portions of the residence that were concealed or otherwise inaccessible at the time of the inspection. Contact the Inspector immediately if any adverse conditions are observed that were not commented on in your inspection report. • The General Home inspection is not an inspection for mold and the inspector specifically disclaims and assumes no responsibility for identifying the presence of mold fungi. Mold fungi are present in all homes and may be present at levels at which sensitive people may react physically to their presence, even at levels at which fungal colonies are not visible, or when fungal colonies are hidden in inaccessible portions of the home.

If you are concerned with mold, the Inspector recommends that you hire a specialist to perform further testing. • The General Home inspection does not include confirmation of the presence of allergens of any type. Many types of allergens



exist to which different people show widely varying levels of sensitivity. Testing for allergens requires a specialist inspection. The Inspector recommends that you have specialist testing performed if allergens are a concern to you. You should consider having tests performed if you expect those suffering from allergies, asthma, lung disease or who have compromised immune systems to be present in the home.

**Inspection limited/prevented by:** • Storage in closets/cupboards

**Not included as part of a building inspection:** • Carbon monoxide detectors, security systems, central vacuum

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Self-cleaning features on ovens not tested • Effectiveness of dishwasher drying cycle not tested • Appliances are not moved during an inspection

**Basement leakage:** • Cannot predict how often or how badly basement will leak

## Observations and Recommendations

### DOORS \ Doors and frames

**37. Condition:** • [Stiff](#)

**Implication(s):** Reduced operability

**Location:** Second Floor Master Bedroom

**Task:** Repair

**Time:** Regular maintenance

### DOORS \ Hardware

**38. Condition:** • [Inoperable](#)

The spring loaded upper latch does not operate.

**Implication(s):** System inoperative or difficult to operate

**Location:** First Floor Foyer

**Task:** Repair or replace

**Time:** Immediate

# INTERIOR

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## STAIRS \ Handrails

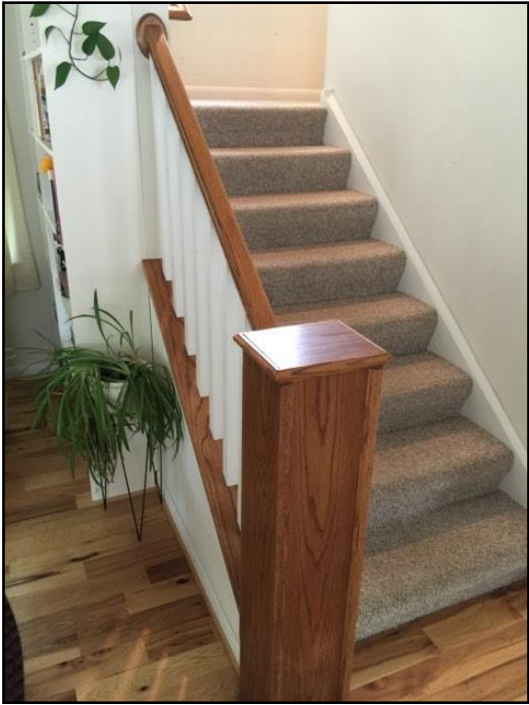
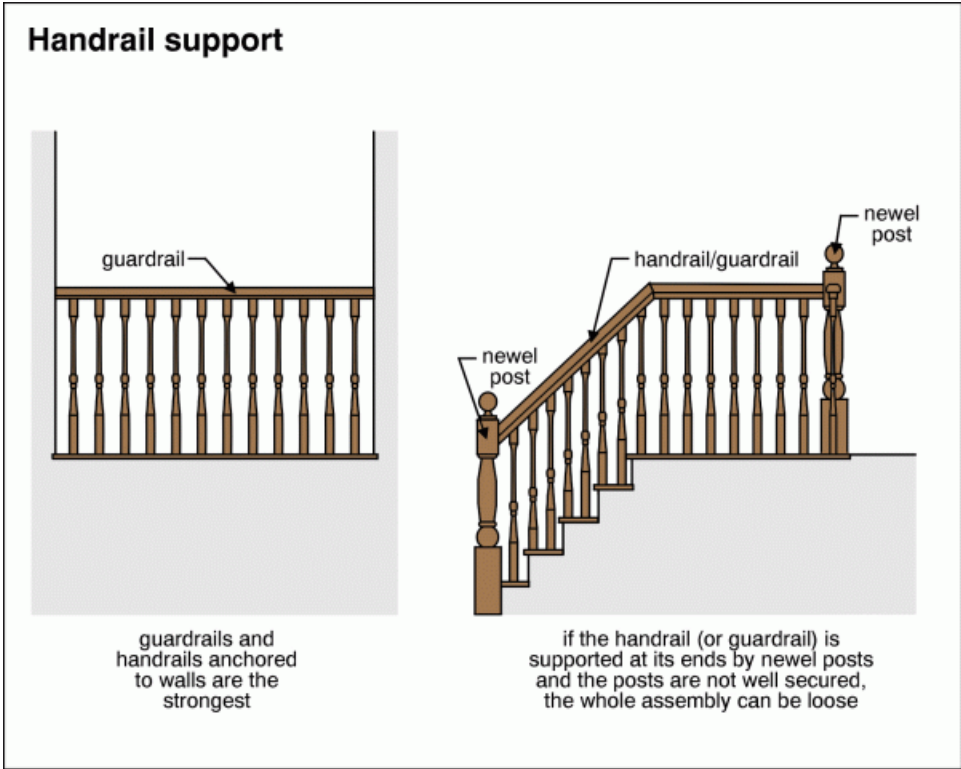
**39. Condition:** • [Loose](#)

**Implication(s):** Fall hazard

**Location:** Second Floor Staircase

**Task:** Repair

**Time:** Immediate



**GARAGE \ Floor**

40. Condition: • [Cracked](#)

Implication(s): Uneven floors

Location: Garage

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**Task:** Monitor

**Time:** Unpredictable

**EXHAUST FANS \ Kitchen range exhaust system**

**41. Condition:** • Light inoperative

**Implication(s):** Reduced operability

**Location:** First Floor Kitchen

**Task:** Replace

**Time:** Regular maintenance

**42. Condition:** • Dirty filter

**Implication(s):** Equipment ineffective

**Location:** First Floor Kitchen

**Task:** Replace

**Time:** Regular maintenance

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

